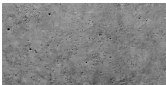





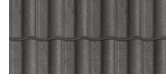


COLOUR SCHEME

SAMPLES	COLOUR	SURFACE
	Stamped Concrete	Driveway
	'Raku' by Dulux or Similar	- External walls rendered and painted (refer to 3D views and Elevations) - Front fence elements
	'Timeless Grey' by Dulux or Similar	- External walls rendered and painted (refer to 3D views and Elevations)
	'Vivid White' by Dulux or Similar	- External walls rendered and painted (refer to 3D views and Elevations) - Front fence elements
	'Natural Copper' by Alucobond	- External walls (refer to 3D views and Elevations)
	Grey Marble Tiles	- Porch and Terrace
	Slimline 'Gunmetal' Texture by Boral	- Roofing (refer to 3D views and Elevations)

Note : Colour of proposed samples may change upon execution.

SHEET INDEX


Layout ID	Layout Name
.1	Cover Sheet
.2	Site Analysis
.3	Site Plan
.4	Ground Floor Plan
.5	BASEMENT PLAN
.6	First Floor Plan
.7	North & East Elevations
.8	South & West Elevations
.9	Building Sections AA & BB
.10	Landscape Concept Plan
.11	FSR Calculation / Driveway Sections D-D
.12	Doors and Windows List & Basix Requirements
.13	Shadow Diagrams - Winter Solstice
.14	Front Fence / Streetscape
.15	Pool Section / Elevations
.16	Demolition Plan/ Traffic Management Plan
.17	Sediment Control Plans
.18	3D Views



CONSTRUCTION OF A TWO STOREY HOUSE WITH BASEMENT

LOT 367, D.P. 11603, AREA = 605.50 m²
98 CHASELING ST GREENACRE, NSW 2190

- Basix and Nathers commitments are:
- R3.5 insulation to plasterboard ceiling
 - foil sarking underneath tiled roof
 - R2.0 insulation to all ceilings with non trafficable roof
 - foil sisalation to all ground and first floor cavity brick external walls
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 - all other windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.70& SHGC = 0.70
 - RWT: 2,500L to collect 80sqm of roof area and to be connected to laundry and landscape
 - hot water system: 4star gas instantaneous or equivalent
 - pool capacity: 26 Kl




0008833444 **16 Aug 2023**

Assessor Noura Al Hazzouri

Accreditation No. DMN/18/1891


Address
98 Chaseling Street , Greenacre
, NSW , 2190

www.nathers.gov.au



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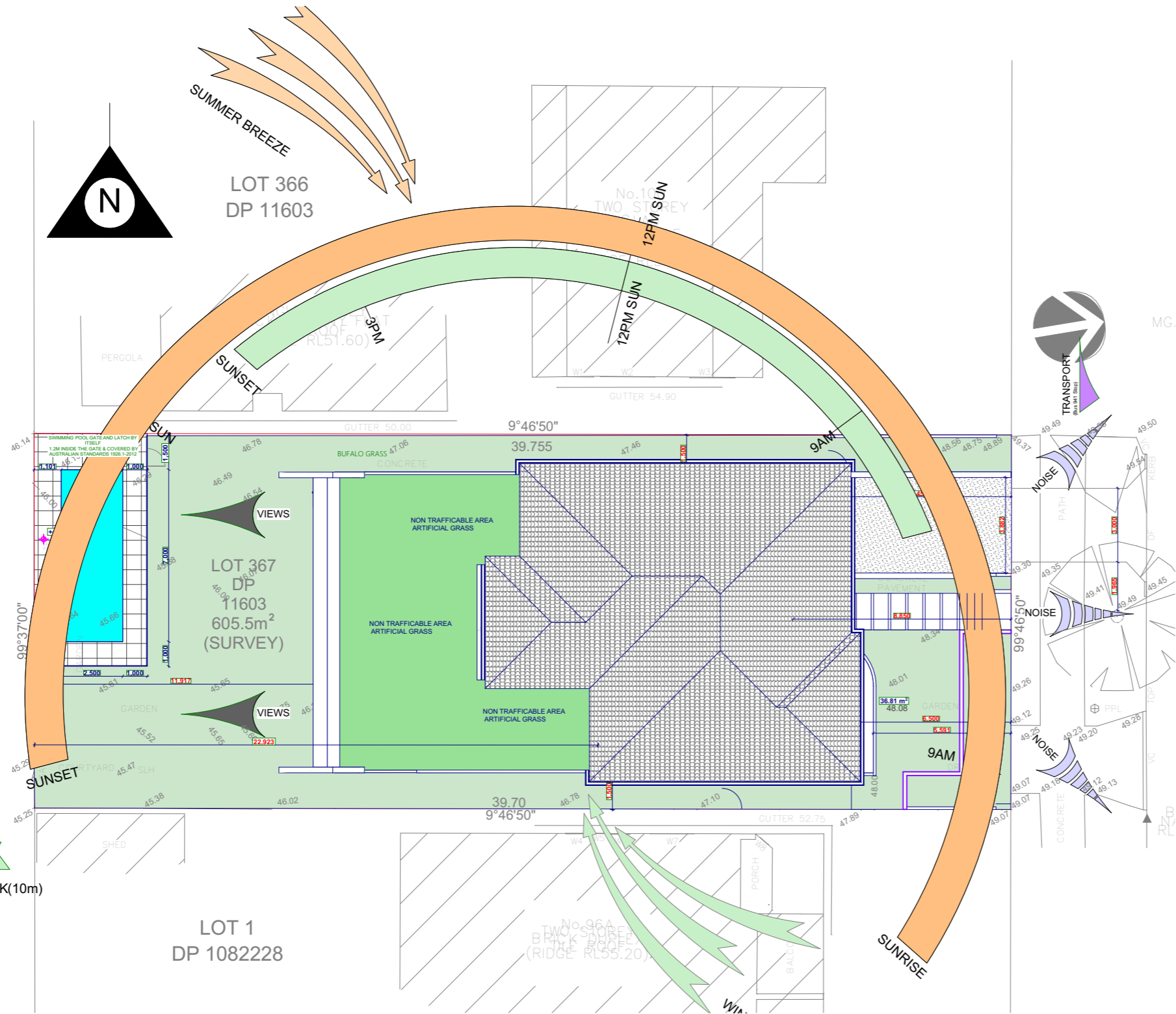


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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 1/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Cover Sheet




Approximate distance :

900m to Greenacre Pharmacy
290m to Greenacre Public School
450m to Robert park
16.6 km to Sydney Airport

3.4 km to Bankstown Police Station
6.1 km to Bankstown Hospital Medical Centre
3.0 km to Fire and Rescue NSW Bankstown Fire Station

Bus Stops :
290m : Waterloo Rd (941)
310m : Wangee Rd (914- 939)

Train Station :
3.3 km to Bankstown Station



0008833444 16 Aug 2023


Assessor Noura Al Hazzouri

Accreditation No. DMN/18/1891

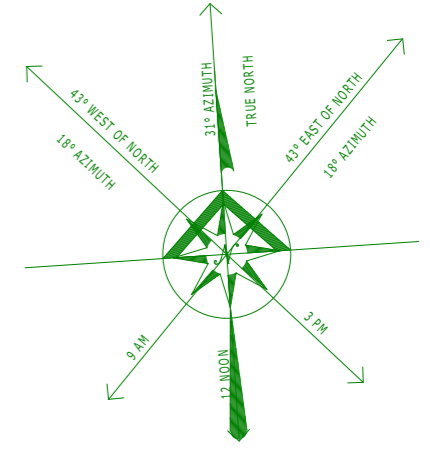
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60.2
MUM

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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:200 DRAWING No: 2/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: Site Analysis

GENERAL NOTES:
ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS AND TIMBER ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAILS.
EXTERNAL RL TO CIVIL ENGINEER'S DRAWING.
SELF-CONTAINED SMOKE ALARM REQUIREMENTS IN ACCORDANCE WITH CLAUSE 9 OF SPECIFICATION E 1.7 OF B.C.A.
ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS 1993 AND BUILDING CODE OF AUSTRALIA.
THE DEMOLITION OF ANY STRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011.



GENERAL LEGEND

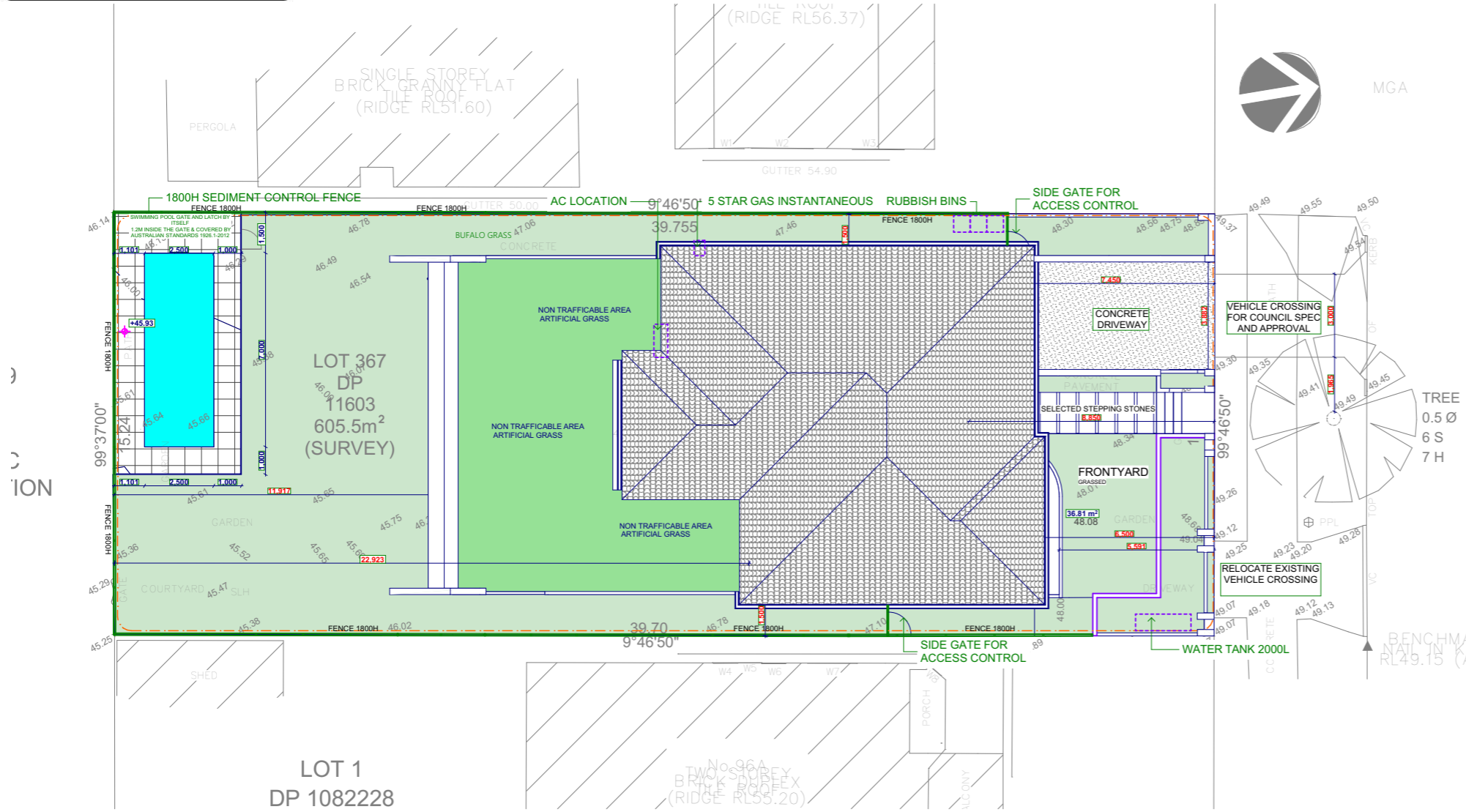
- PROPOSED LEVEL POINTS
- EXISTING LEVEL POINTS
- FOOTPRINT OF PROPOSED FLOOR PLAN
- FOOTPRINT OF EXISTING HOUSE

COMPLIANCE TABLE

CONTROL	PROPOSAL	REQUIREMENT	CONTROL
CANTERBURYBANKSTOWN CITY COUNCIL			
LANDSCAPE AREA	67.56% of the front area = 66.50 m ²	45% of the front area = 44.29 m ²	yes
FSR	0.49:1 = 297.48 m ²	0.5:1 = 302.75 m ²	yes
HEIGHT	WALL = 6.943m BUILDING = 8.93m	WALL = 7m BUILDING = 9m	yes
SITE SETBACK	GF= 1500mm FF= 1500mm	GF= 900mm FF= 900mm	yes
FRONT SETBACK	Ground floor 5.59m First floor - 6.5m	mini 5.5m ground floor mini 6.5m first floor	yes
PRIVATE OPEN SPACE AREA	172.74 m ²	80 m ² per dwelling	yes

DESIGN DATA SCHEDULE :

SITE AREA	= 605.5 m ²
GROUND FLOOR AREA	= 164.92 m ²
FIRST FLOOR AREA	= 113.40 m ²
BASEMENT FLOOR AREA	= 19.16 m ²
GARAGE AREA	= 100.64 m ²
GROSS FLOOR AREA (exc garage)	= 297.48 m ²
OPEN SPACE AREA	= 172 m ²



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-pool capacity: 26 Kl

0008833444 16 Aug 2023
Assessor Noura Al Hazzouri
Accreditation No. DMN/18/1891
Address 98 Chaseling Street, Greenacre, NSW, 2190
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SITE PLAN
1:200

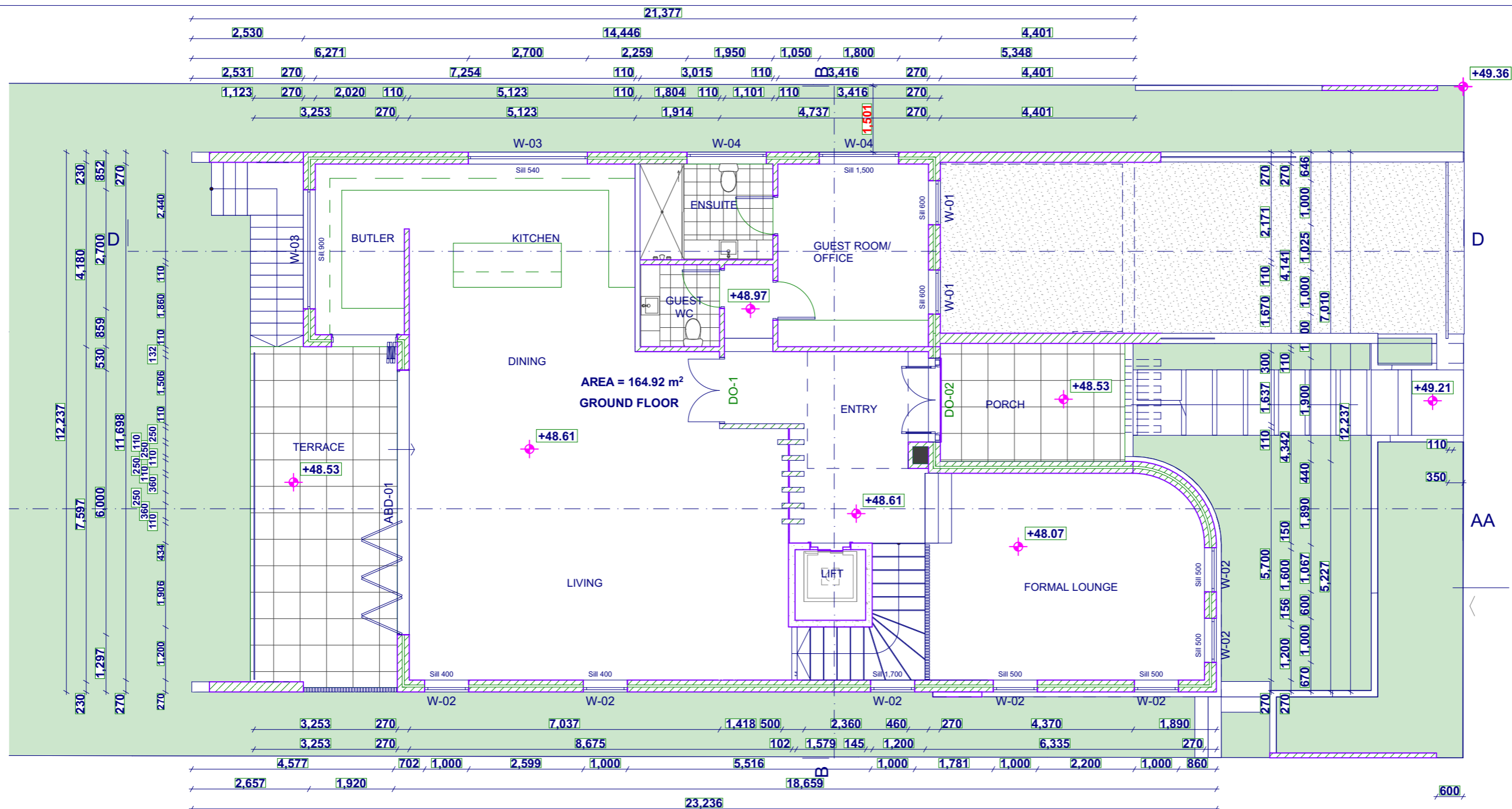


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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	1:200 A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 3/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Site Plan



GROUND FLOOR PLAN
1:100

- Basix and Nathers commitments are:
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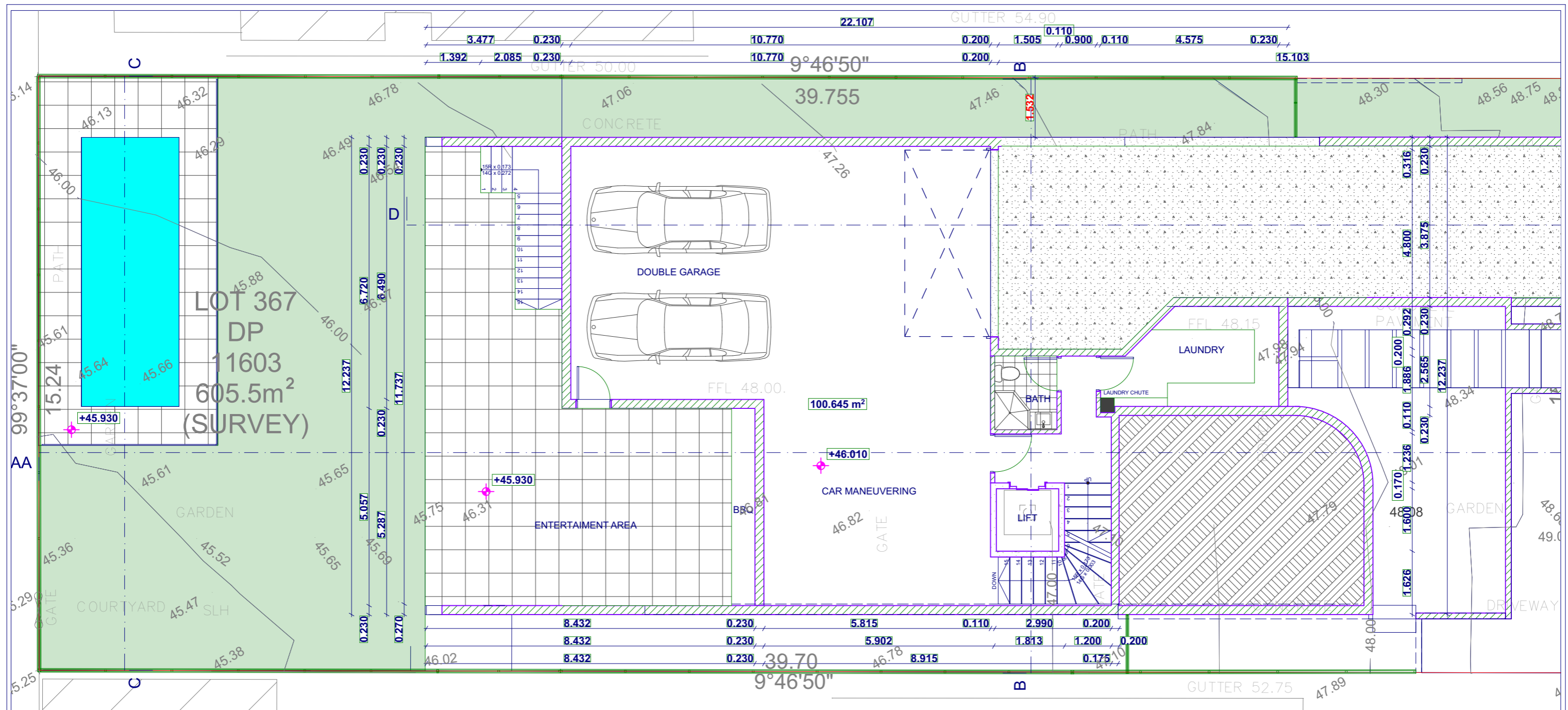
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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 DRAWING No: 4/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: Ground Floor Plan



BASEMENT PLAN

- Basix and Nathers commitments are:
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5.4
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
60.2
MUM
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Assessor Noura Al Hazzouri
Accreditation No. DMN/18/1891
Address
98 Chaseling Street, Greenacre
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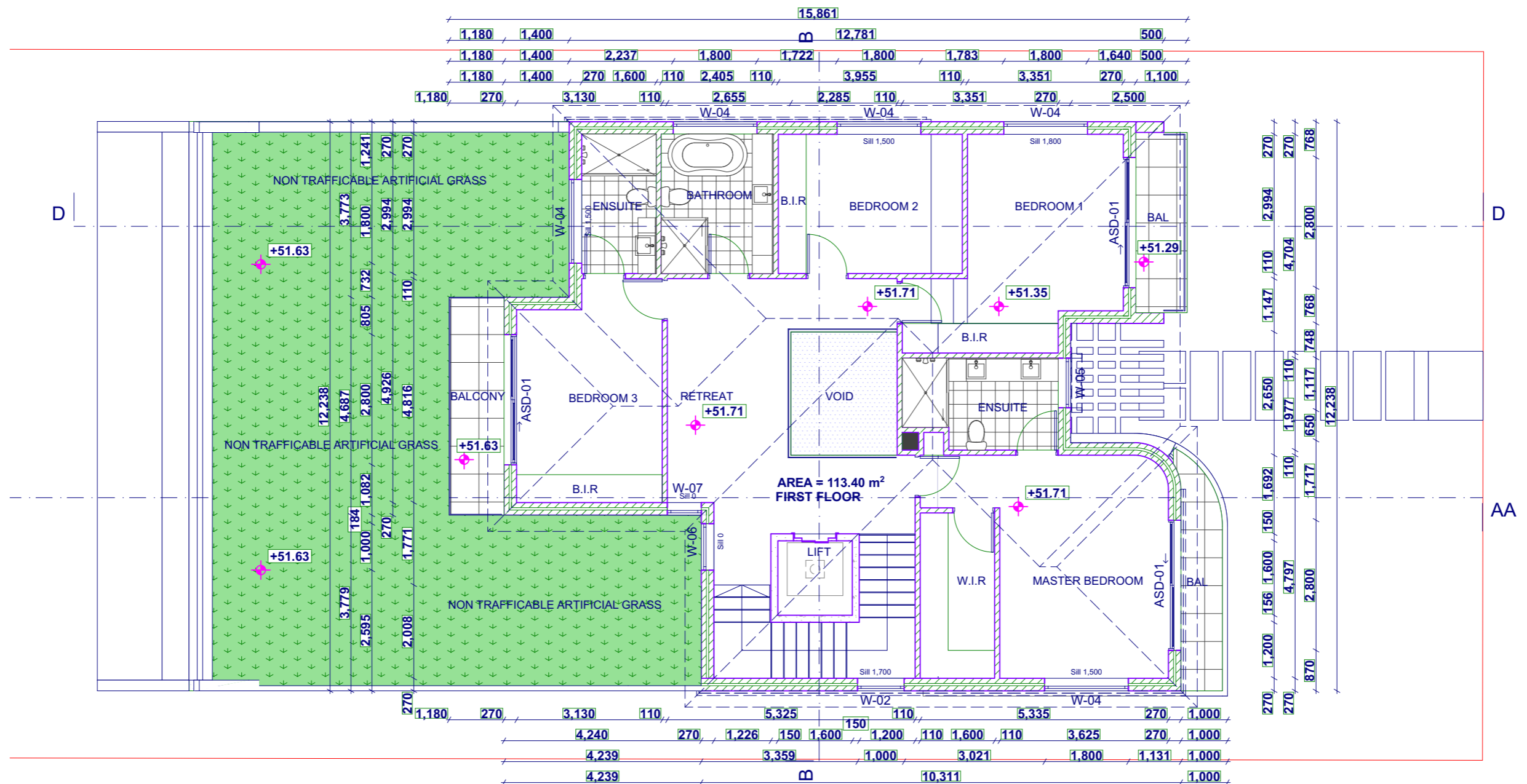
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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 DRAWING No: 5/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: BASEMENT PLAN



FIRST FLOOR PLAN
1:100

- Basix and Nathers commitments are:
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 - pool capacity: 26 Kl



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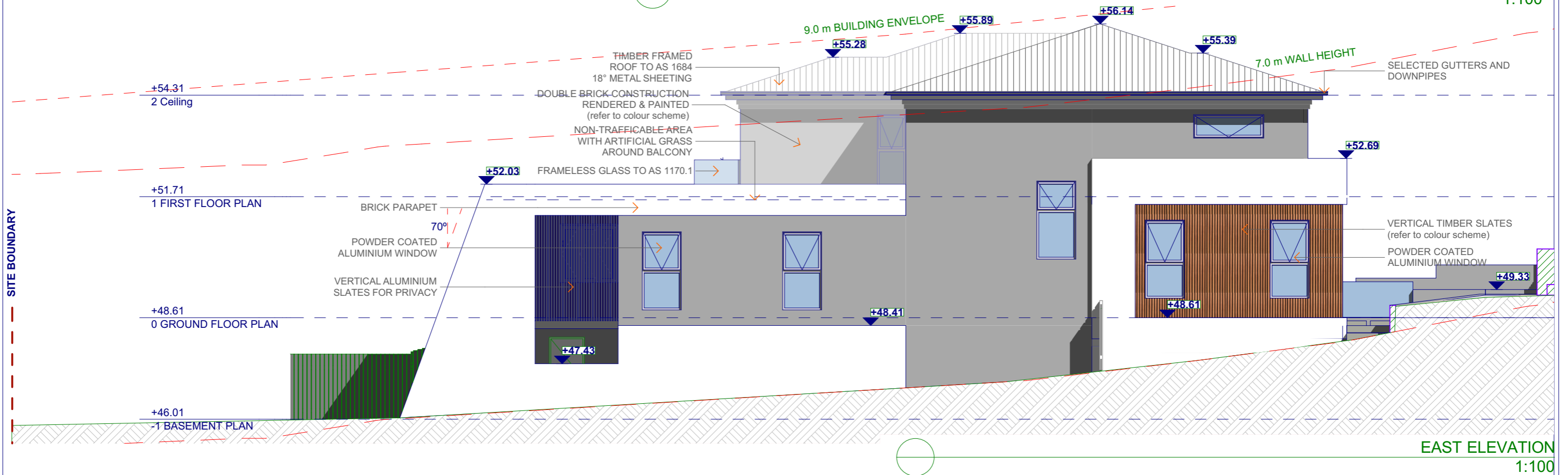


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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 DRAWING No: 6/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: First Floor Plan

- Basix and Nathers commitments are:
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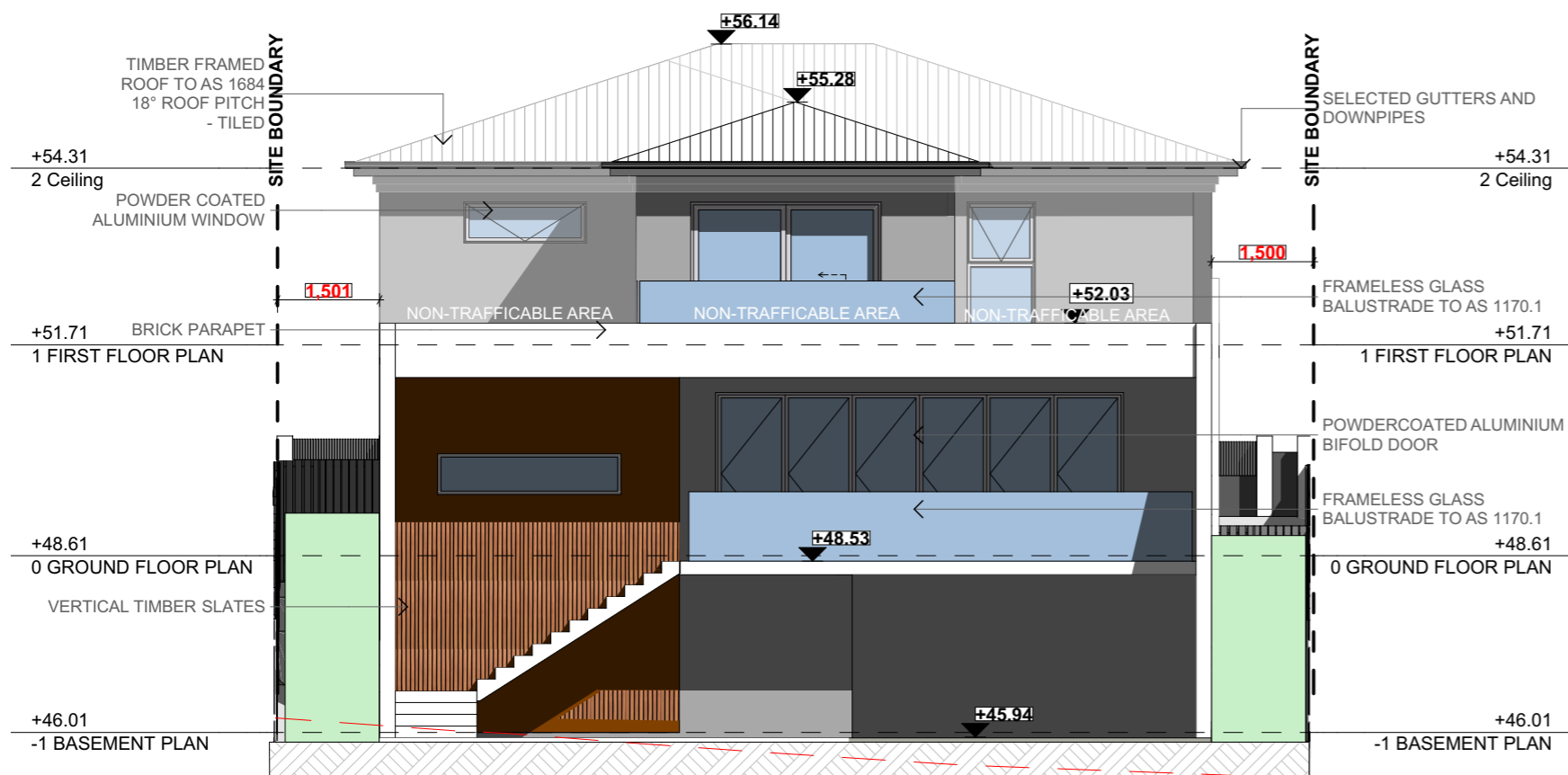
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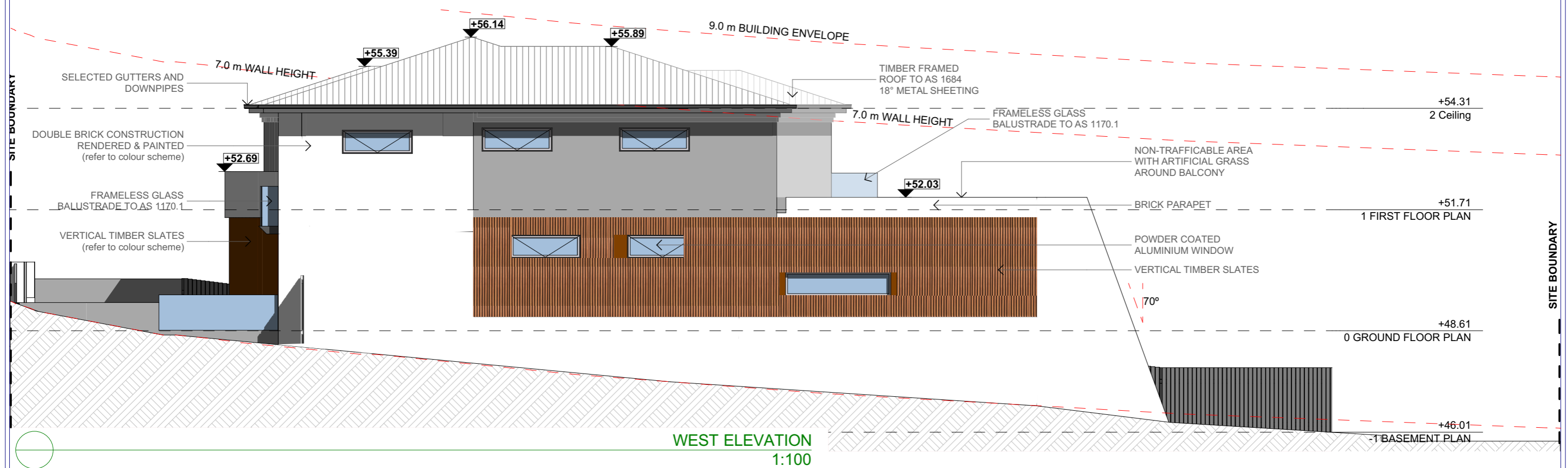
FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 DRAWING No: 7/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: North & East Elevations



- Basix and Naters commitments are:
- R3.5 insulation to plasterboard ceiling
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SOUTH ELEVATION
1:100



WEST ELEVATION
1:100



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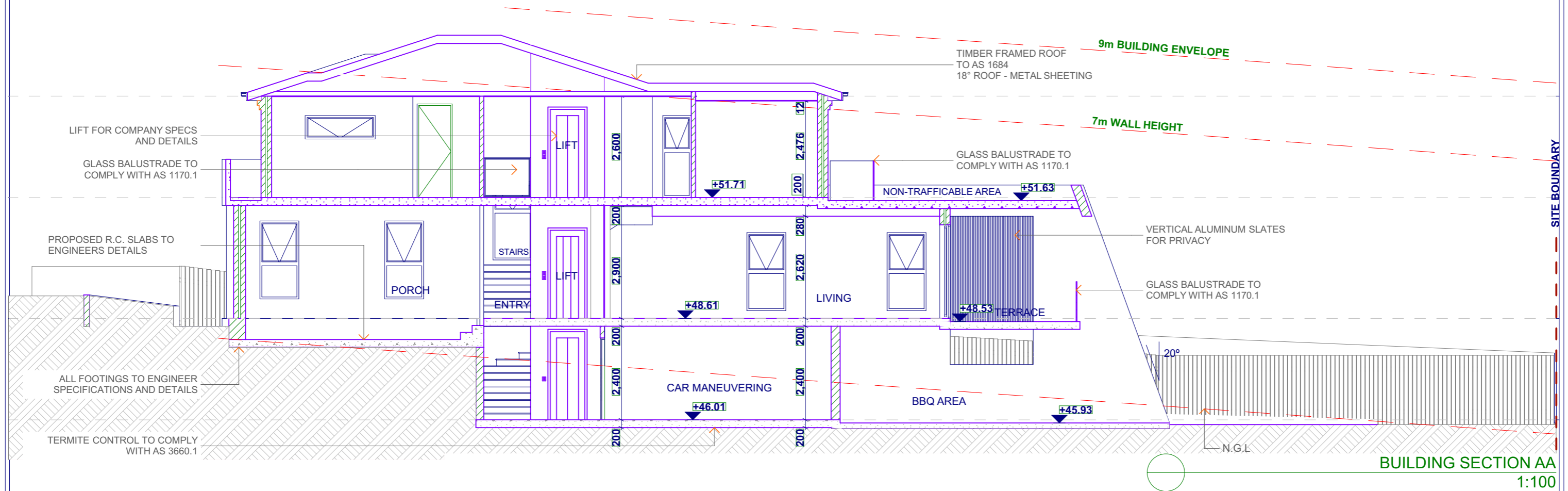
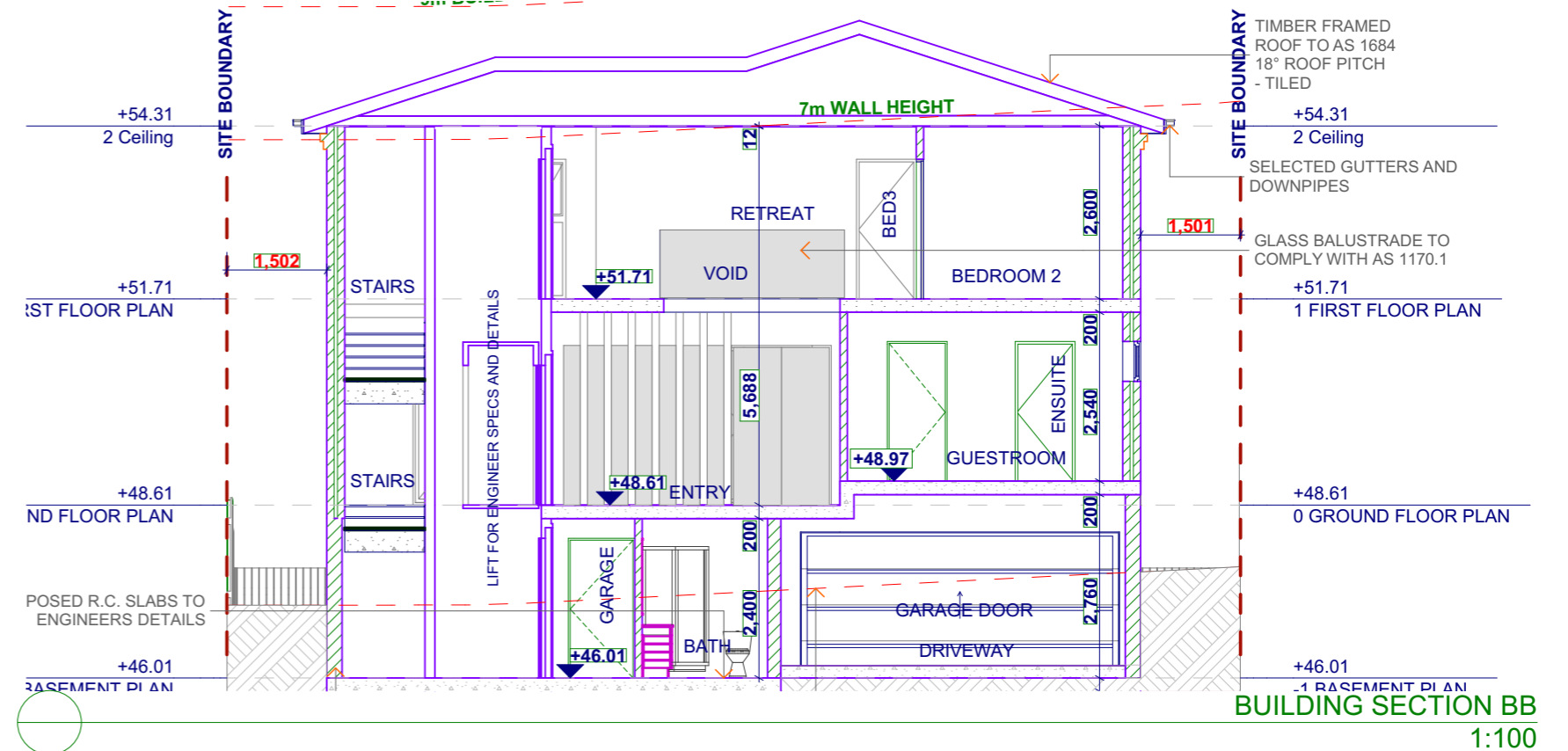
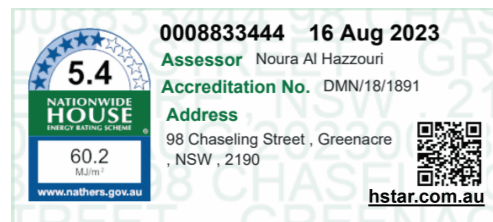
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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 DRAWING No: 8/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: South & West Elevations

Basix and Naters commitments are:

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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 9/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Building Sections AA & BB

SPECIFICATIONS

SITE PREPARATION

Existing planted species in raised garden boxes to be selectively removed from site and/or replanted, and sculptured earths on site specifications. Planted material to be stored in pots on site in order to be replanted where specified .

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed. Any nearby site works should be carried out carefully using hand tools. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing or new trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials within the drip line of existing or new trees. All vegetation not shown on plan to be removed. No tree removal is to occur without the presence of the Arborist.

SERVICES

Services and utilities shown have been located by physical evidence and/or by reference to surveys provided. Pits may not have been opened to verify the type of utility . Excavation has not been carried out to confirm underground location. Service details should be confirmed with the relevant service authority during design and prior to commencement of construction.

SOIL PREPARATION

Remove min 300mm of existing site soil where it does not interfere with the roots of the existing trees

Provide soil profiles as follows;

Planter box mix similar to that supplied by ANL to all garden beds as specified on the plan

Any imported soil or soil blends using site topsoil materials used in the top 600mm of any landscaped area finished soil profile shall meet the requirements of AS 4419 - 2003 'soils for landscaping and garden use'. Soils shall be placed and compacted in layers to prevent undue settlement.

Sub-base filling and placement shall meet the engineers material and compaction requirements.

EROSION CONTROL

Where gradients in finished surface level exceed 1:2.5 mulch is to be held in place with an unobtrusive biodegradable fit for purpose netting with the netting to be fixed in place as the manufacturers specification for this particular situation.

STAKING

All trees not self supporting and trees generally shall be provided with pointed hardwood stakes as follows:

Trees up to container size of 25L - 2 x 25mm x 25mm x 1.8m high stakes at each

Trees above container size of 25L - 2 x 50 x 50 x 2.1 high stakes each

ties shall be of 50mm wide jute mesh webbing tied ' figure eight pattern' to support the plant and ties to be fixed securely to stakes

PLANT SPECIFIC INFORMATION

Placing of proposed plants to be done with the coordination of the landscape architect. All plants to be placed in position prior to planting.

SOIL IMPROVEMENT

Where site topsoil is to be used it shall be improved by adding Botany humas or similar at a ratio of 1:3 by volume.

PLANTING MATERIALS

Plants shall correspond to the planting index. There shall be no substitution in quality or quantity of material unless otherwise specified by the landscape architect. The landscape architec reserves the right to refuse any material showing signs of disease, distorted growth habit or malpractice. Plants to be placed in the ground no more than 48 hours after arrival on site. Plants to be planted in accordance with the planting detail. Planting holes to be dug double the width of the pot size and backfilled with organic soil and native fertilizer. The finished level of the plant is to finish flush with the existing pot level. No backfilling around the stem of the plant with either soil or mulch.

EDGING

brick or paver mowing edge layed on 4:1 mortar mix with bricktor .

TURF

use premium sir walter turf over 250mm ripped subgrade with minimum of 50mm turf underlay.

MULCH

All planter beds and garden areas shall have a minimum depth of 80mm FINE playground mulch .

All mulch is to be free of deleterious matter such as soil, weeds and sticks.

FERTILISER

On completion of work all planting areas are to be fertilised with organic life, slow release fertiliser (Osmocote 8-9 month) which is to be sufficiently watered in, as well as a soluble fertiliser similar to Seasol applied in accordance with the manufacturers details. Do not use pellet fertilizer with odour on the job

HARD CONSTRUCTION

REFER TO ARCHITECTURAL PLANS AND SPECIFICATION FOR PAVINGAND HARDSCAPED DETAILS

All civil, structural and hydraulic work associated with this project shall be to consulting Engineer's details.

All external stairs to be constructed in accordance with Clause

D2.13 of the Building Code of Australia.

IRRIGATION

supply and install drip irrigation system from water tank to all garden beds. Run min. 40mm pipe under all hard surfaces for future access.

NOTES:

ALL GARDEN EDGING TO BE 75MM STEEL E.G. FORMBOSS EDGE SYSTEMS

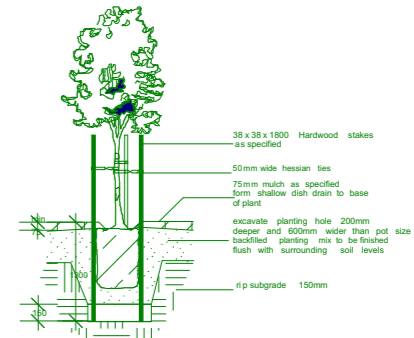
EUCY MULCH TO BE SPREAD IN ALL GARDEN BEDS @ 30-50MM DEPTH

(NO MULCH TO BE USED WHERE THERE IS DICHONDRA.)

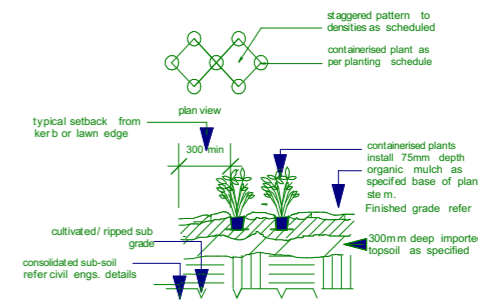
PEBBLES TO BE BLACK - 30-60MM

DRAINAGE CELL COVERED BY GEO-FABRIC IN THE BASE OF ALL PLANTER BOXES.

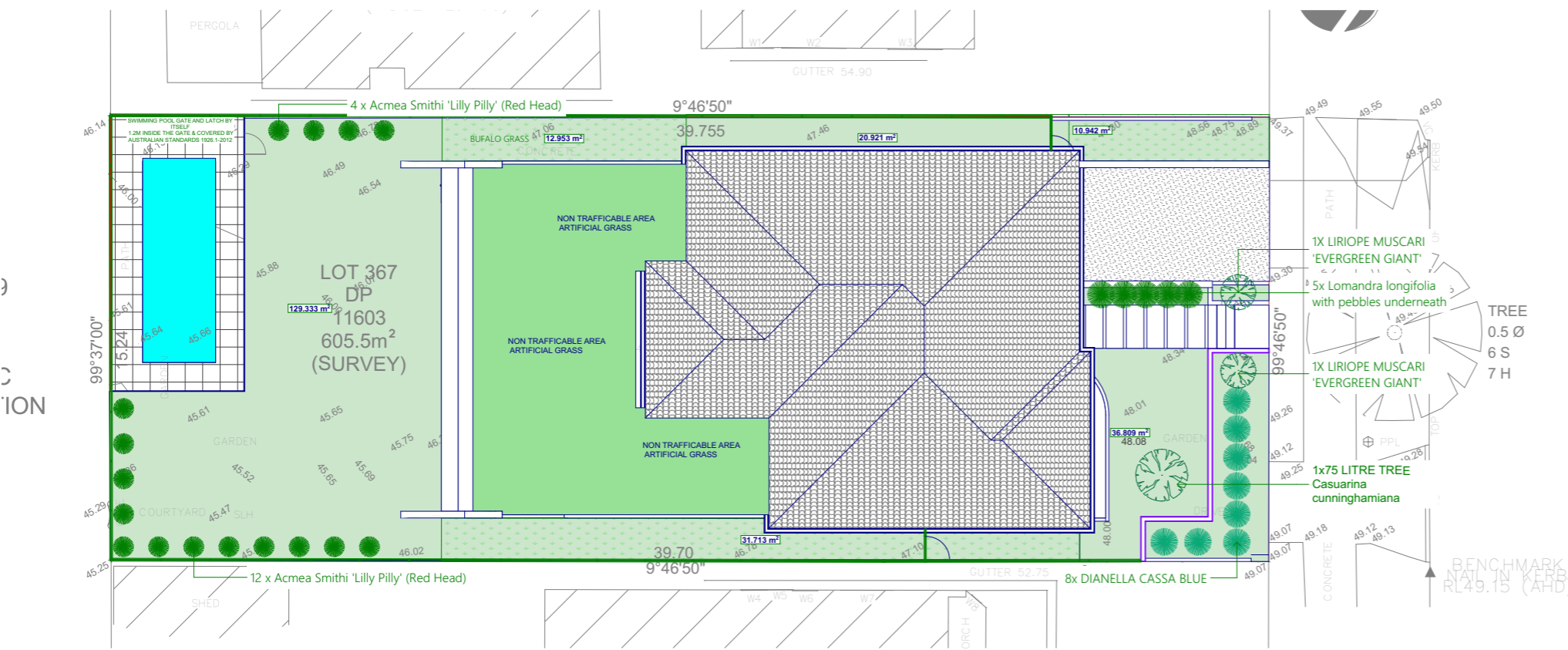
USE FREE DRAINING GARDEN MIXES



1 TREE PLANTING



2 GARDEN BED PLANTING



CHASELING
1:200

LANDSCAPE CALCULATION	
ID	Surface Area
FRONT LANDSCAPE	10.94
FRONT LANDSCAPE	18.75
FRONT LANDSCAPE	36.81
REAR LANDSCAPE	129.33
SIDE LANDSCAPE	12.95
SIDE LANDSCAPE	20.92
SIDE LANDSCAPE	31.71
	261.41 m²

PERVIOUS AREA

SITE AREA = 605.5 m²

LANDSCAPE = 261.41 m² / 43.17 %

66.50 m² of the front area landscaped = 67.56%

0008833444 16 Aug 2023

Assessor Noura Al Hazzouri

Accreditation No. DMN/18/1891

Address

98 Chaseling Street , Greenacre , NSW , 2190

hstar.com.au

ACCREDITED

BUILDING DESIGNER

0 1 2 3 4 5

SCALE 1 : 100

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AMENDMENTS		
DATE	DESCRIPTION	ISSUE
00.08.23	DA SUBMISSION	A

Level 1, 28 Phillip St Parramatta NSW 2150
P.O Box 2294 North Parramatta NSW 1750

P 8840 9114 F 8677 3921 M 0407 835 007
info@dwellde sign.com.au | www.dwelldesign.com.au

FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:200, 1:1, 1:1.33	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 10/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Landscape Concept Plan

5.4

NATIONWIDE HOUSE

60.2 MJ/m²

www.nathers.gov.au


0008833444

16 Aug 2023

Assessor Noura Al Hazzouri

Accreditation No. DMN/18/1891

Address 98 Chaseling Street, Greenacre, NSW, 2190



hstar.com.au

Driveway Section -D-D
1:100

Basix and Nathers commitments are:

- R3.5 insulation to plasterboard ceiling
- foil sarking underneath tiled roof
- R2.0 insulation to all ceilings with non trafficable roof
- foil sisalation to all ground and first floor cavity brick external walls
- Weather stripping to external doors & windows
- all awning windows shall be: Aluminium standard single-glazed: clear glass: U = 6.70 & SHGC = 0.57
- all other windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.70& SHGC = 0.70
- RWT: 2,500L to collect 80sqm of roof area and to be connected to laundry and landscape
- hot water system: 4star gas instantaneous or equivalent
- pool capacity: 26 Kl

FSR CALCULATION	
ID	Surface Area
FSR BB	19.16
FSR GF	164.92
FSR FF	113.40
	297.48 m ²

FSR CALCULATION	
LOT = 605.50m ²	
REQUIREMENT = 302.75 m ² 50:1	PROPOSAL = 297.48 m ² 49.12:1

0 1 2 3 4 5
SCALE 1 : 100

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DWELL DESIGNS

AUSTRALIA

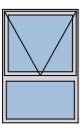
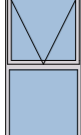



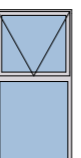

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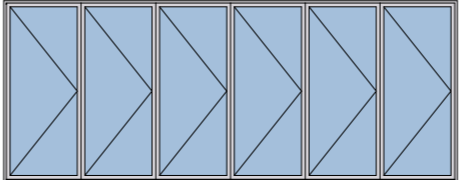
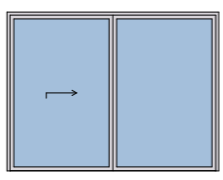

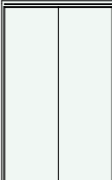
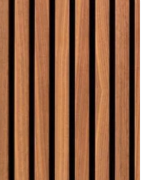
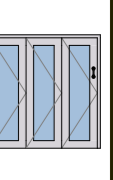
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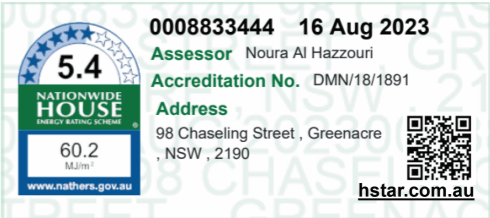
FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB	SCALE: A3	CLIENT: MR & MRS CHAHAYTA
DESIGNED: AB	1:200, 1:100	
PLOT DATE: 9/08/2023	DRAWING No: 11/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: FSR Calculation / Driveway Sections D-D

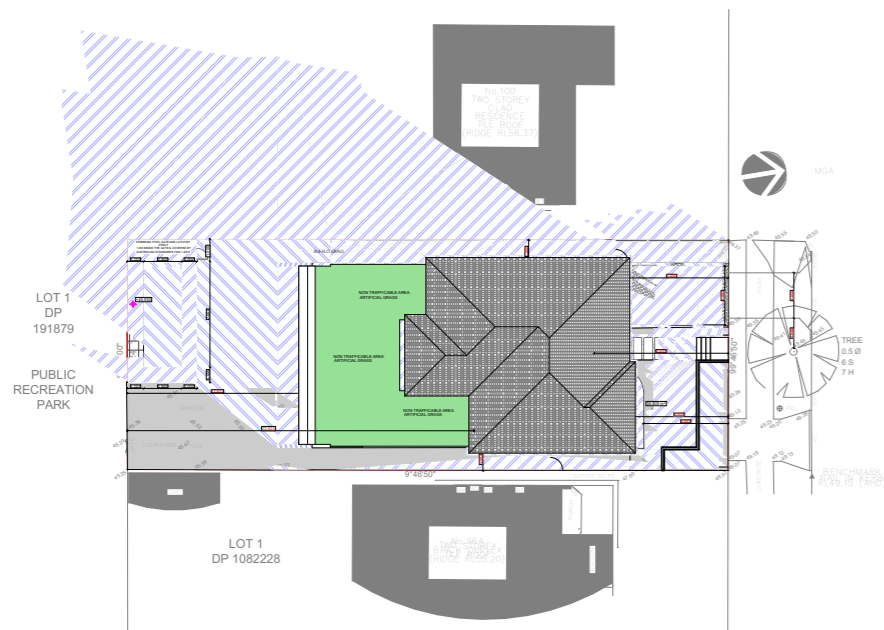
WINDOW LIST							
ID	W-01	W-02	W-03	W-04	W-05	W-06	W-07
Quantity	2	7	2	7	1	1	1
Home Storey							
W x H Size	1.000×1.500	1.000×2.000	2.700×0.600	1.800×0.600	1.067×0.600	1.000×2.100	0.730×2.100
Surface Area	1.50	2.00	1.62	1.08	0.64	2.10	1.53
							
Location							
Orientation							

DOOR LIST						
ID	ABD-01	ASD-01	D-03	DO-1	DO-02	FOLD-01
Quantity	1	3	2	1	1	1
W x H Size	6.000×2.400	2.800×2.100	4.800×2.200	1.500×2.400	1.900×2.400	1.493×1.500
						
Surface Area	14.40	5.88	10.56	3.60	4.56	2.24
Location						
Home Storey						

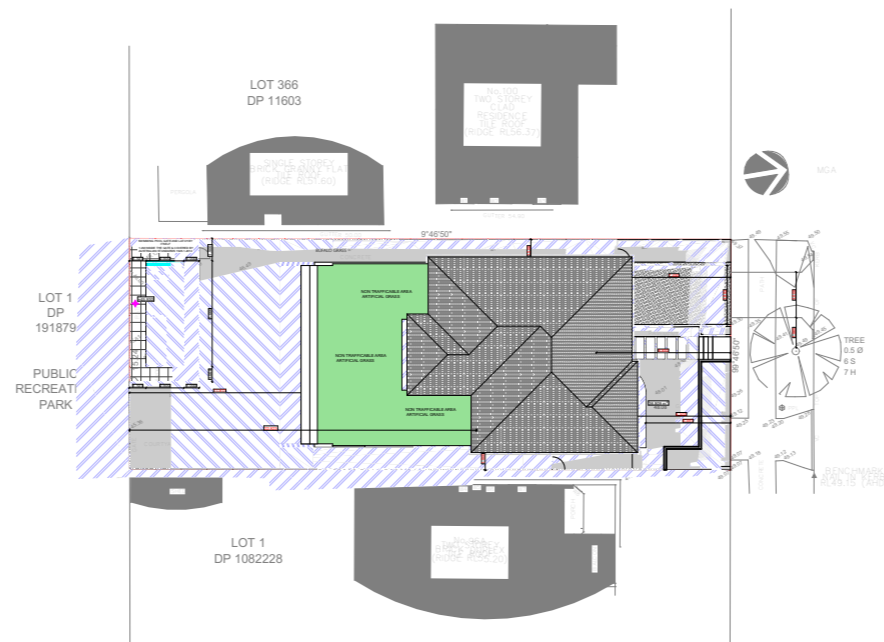
BASIX REQUIREMENTS

- Basix and Natthers commitments are:
- R3.5 insulation to plasterboard ceiling
 - foil sarking underneath tiled roof
 - R2.0 insulation to all ceilings with non trafficable roof
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 - all other windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.70& SHGC = 0.70
 - RWT: 2,500L to collect 80sqm of roof area and to be connected to laundry and landscape
 - hot water system: 4star gas instantaneous or equivalent
 - pool capcity: 26 Kl

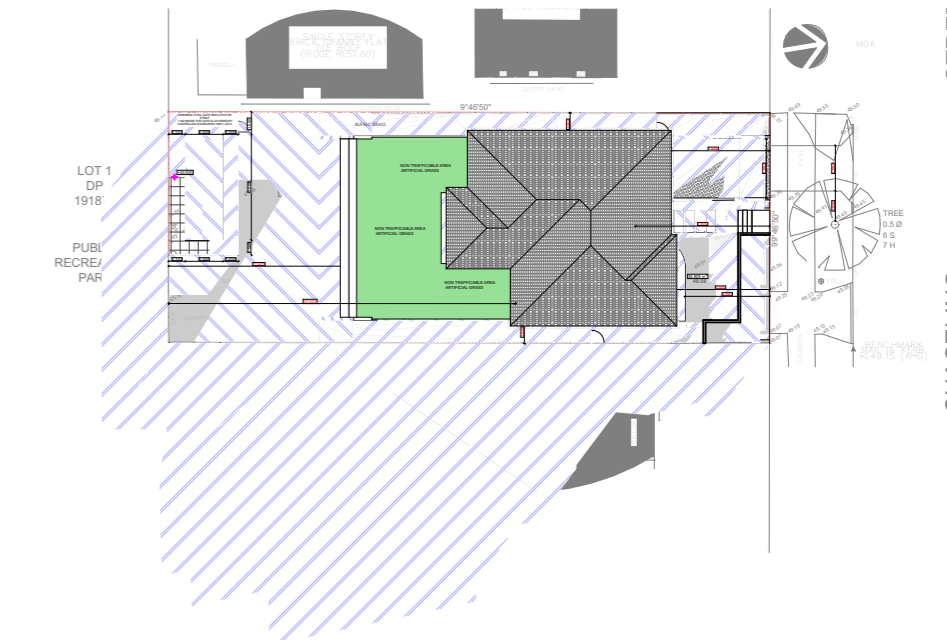




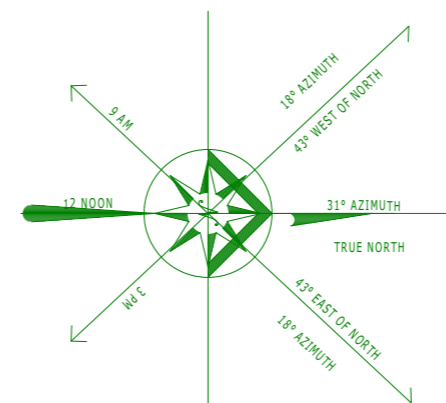
JUNE 21 SHADOW DIAGRAM - 9 AM
1:500



JUNE 21 SHADOW DIAGRAM - 12 PM
1:500



JUNE 21 SHADOW DIAGRAM - 3 PM
1:500



SUN SHADOW DIAGRAM PREPARED
FOR 9 AM, 12 NOON & 3 PM
MID-WINTER, JUNE 21.

0008833444 16 Aug 2023
Assessor Noura Al Hazzouri
Accreditation No. DMN/18/1891
Address 98 Chaseling Street, Greenacre, NSW, 2190
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hstar.com.au



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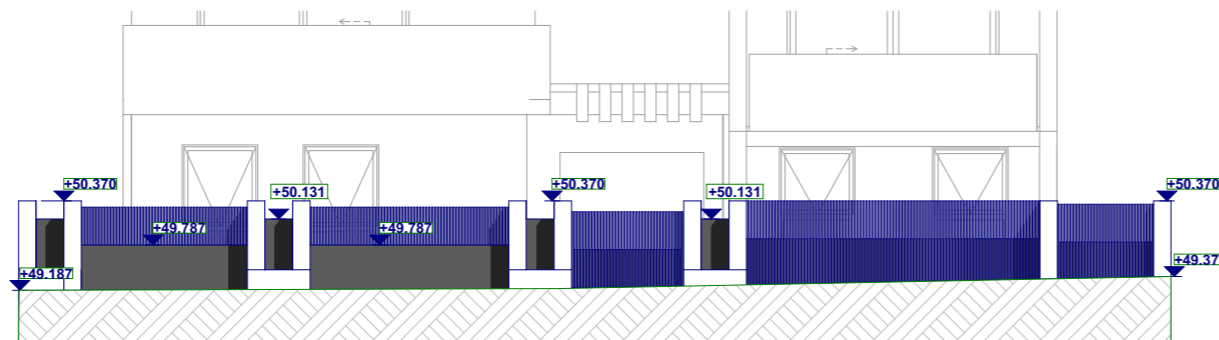


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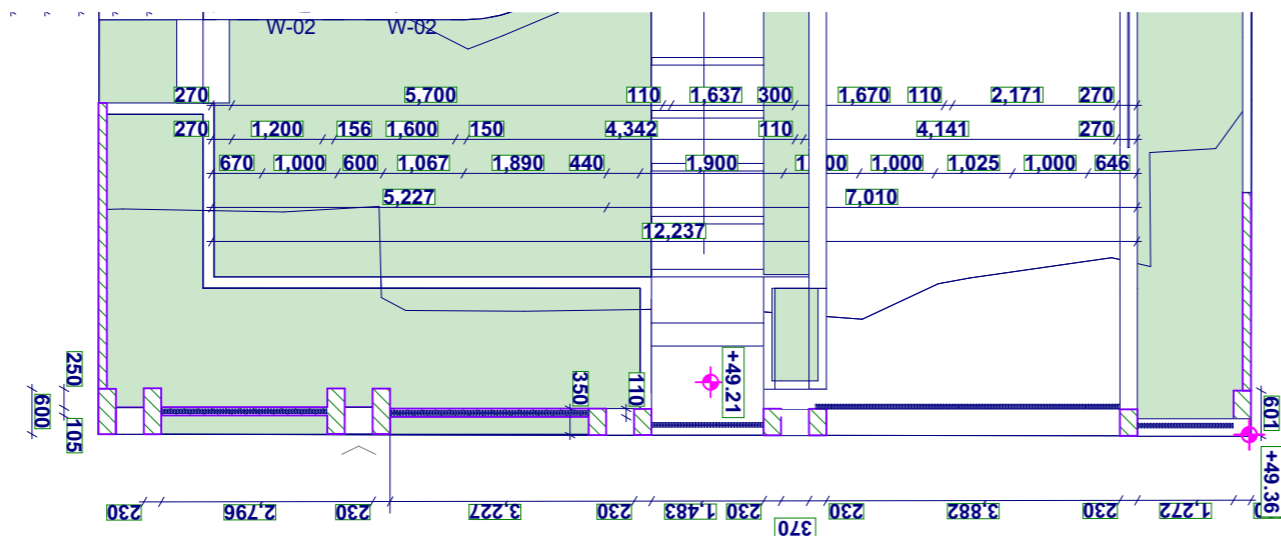
FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:500 DRAWING No: 13/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: Shadow Diagrams - Winter Solstice



STREETSCAPE ELEVATION
1:200



FRONT FENCE ELEVATION
1:100



FRONT FENCE PLAN
1:100



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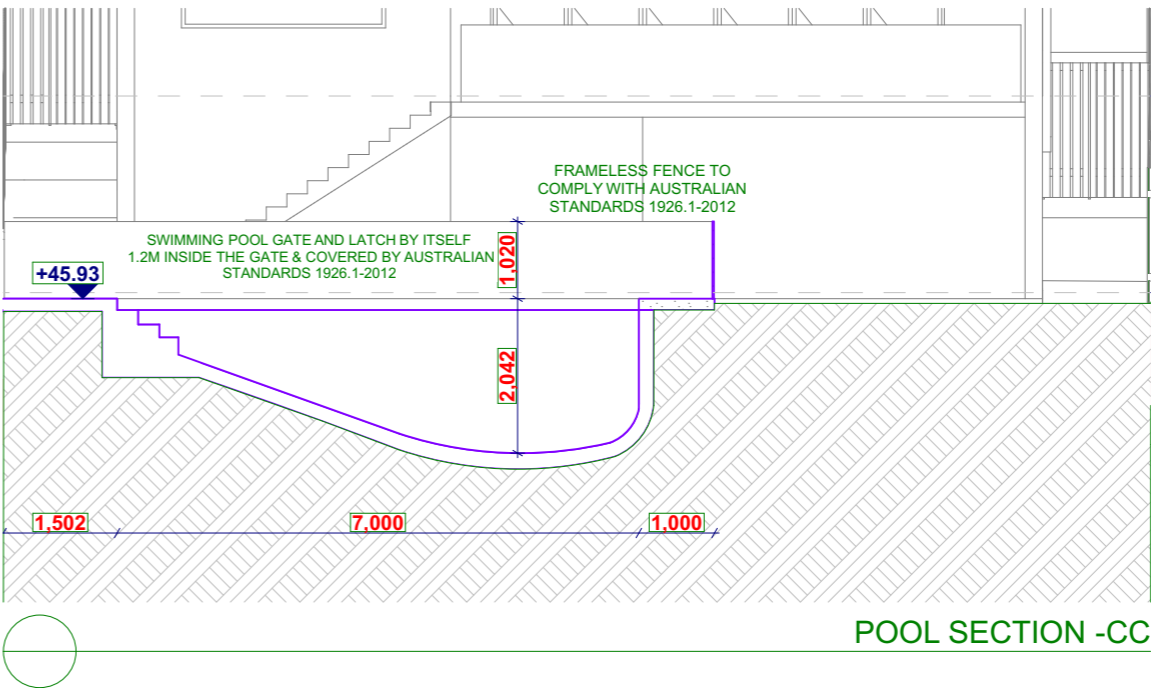
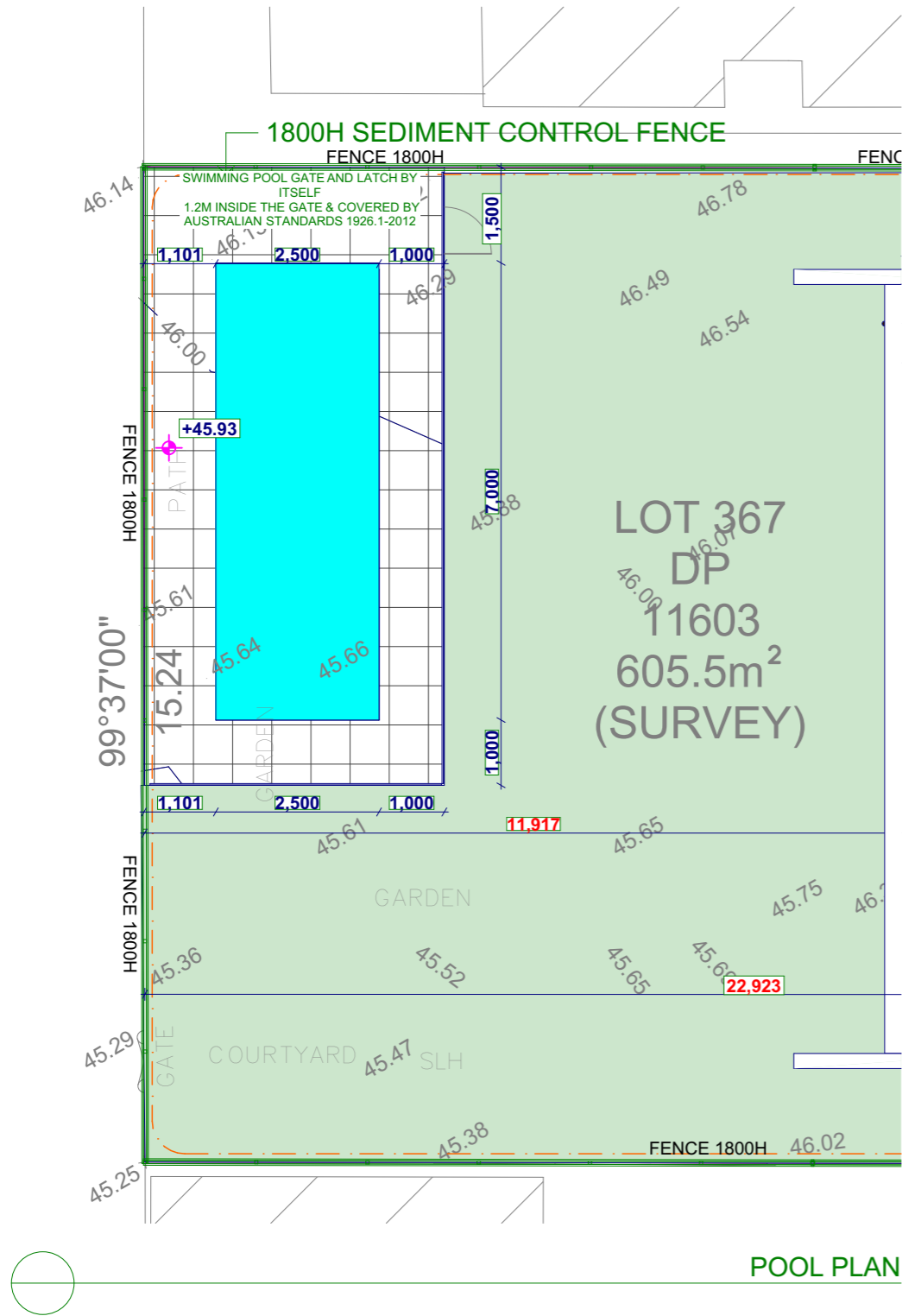
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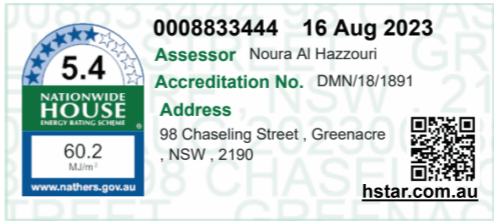


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info@dwellde sign.com.au | www.dwelldesign.com.au

FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:200, 1:100 DRAWING No: 14/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: Front Fence / Streetscape



- Basix and Naters commitments are:
- R3.5 insulation to plasterboard ceiling
 - foil sarking underneath tiled roof
 - R2.0 insulation to all ceilings with non trafficable roof
 - foil sisalation to all ground and first floor cavity brick external walls
 - Weather stripping to external doors & windows
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 - RWT: 2,500L to collect 80sqm of roof area and to be connected to laundry and landscape
 - hot water system: 4star gas instantaneous or equivalent
 - pool capacity: 26 KI



0 1 2 3 4 5
SCALE 1 : 100

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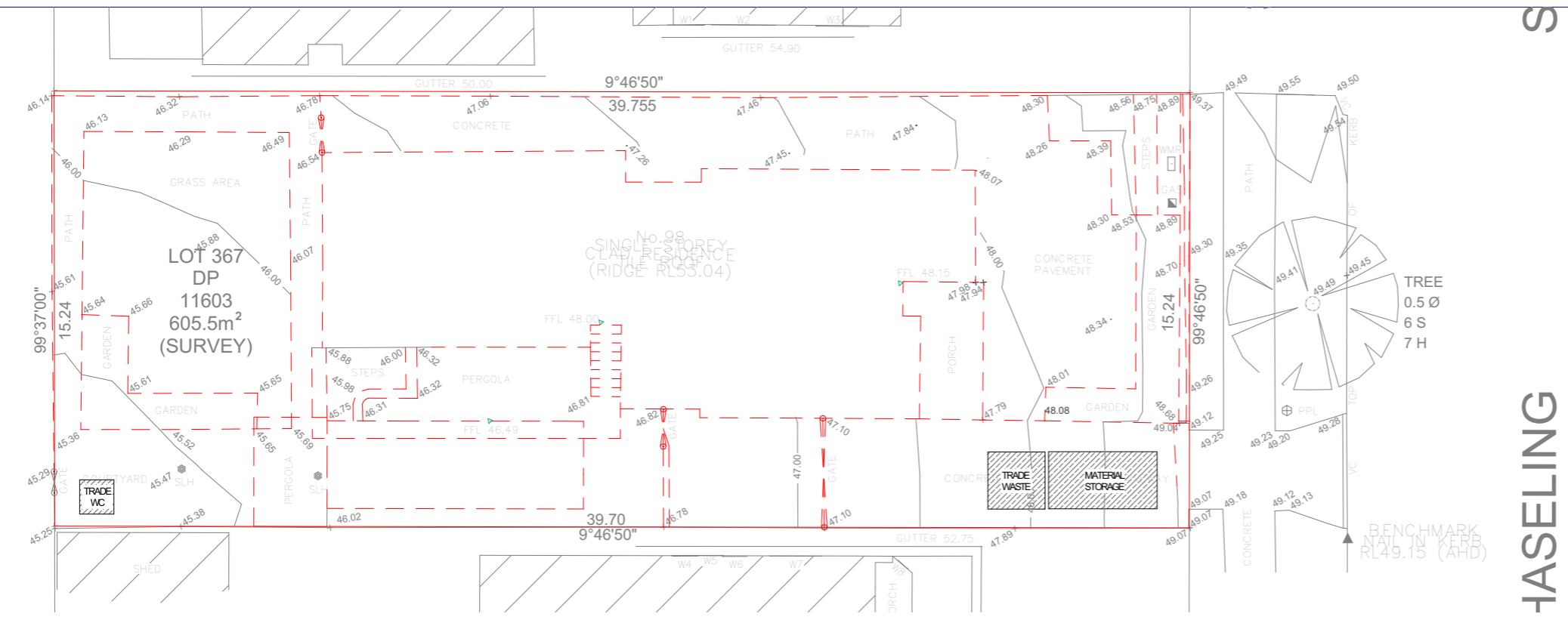
AMENDMENTS		
DATE	DESCRIPTION	ISSUE
00.08.23	DA SUBMISSION	A



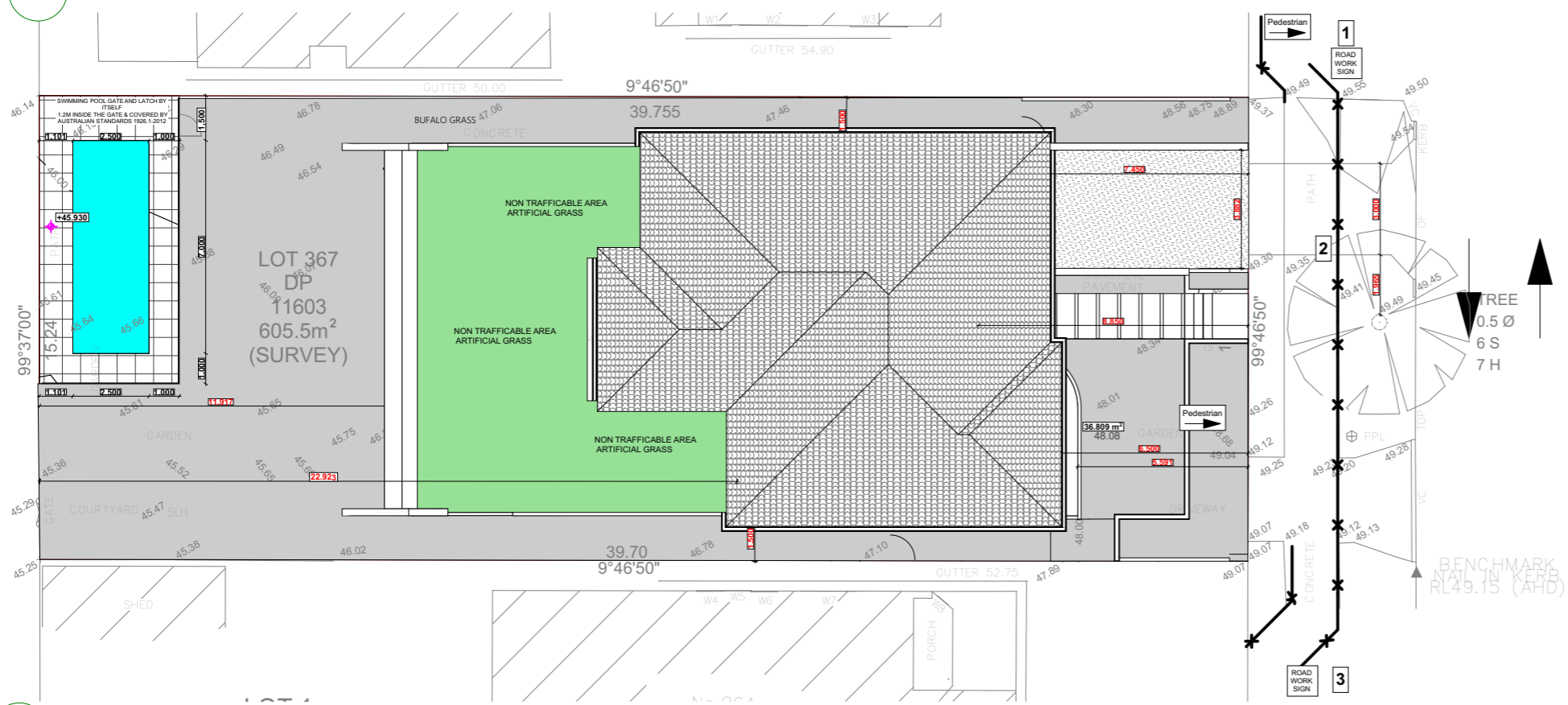
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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:100 A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 15/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Pool Section / Elevations



DEMOLITION PLAN
1:200



TRAFFIC MANAGEMENT PLAN
1:200

GENERAL LEGEND

ALL TREES SHOWN LINE TO REMAIN

ALL ELEMENTS SHOWN DASHED TO BE REMOVED

NOTE:

THE DEMOLITION OF ANY STRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011.

0008833444 16 Aug 2023

Assessor Noura Al Hazzouri

Accreditation No. DMN/18/1891

Address 98 Chaseling Street, Greenacre, NSW, 2190

5.4 **NATIONWIDE HOUSE** ENERGY RATING SCHEME

60.2 **MUMI**

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GENERAL LEGEND

1 PROHIBIT VEHICLES STOPPING ALONG THE LENGTH OF THE NARROWED CARRIAGE WAY

2 PROVIDE A MINIMUM TRAFFIC ZONE WIDTH OF 3.5M

3 PROVIDE A MINIMUM CLEAR WIDTH OF 1.5M FOR PEDESTRIAN ACCESS



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DWELL DESIGNS

AUSTRALIA

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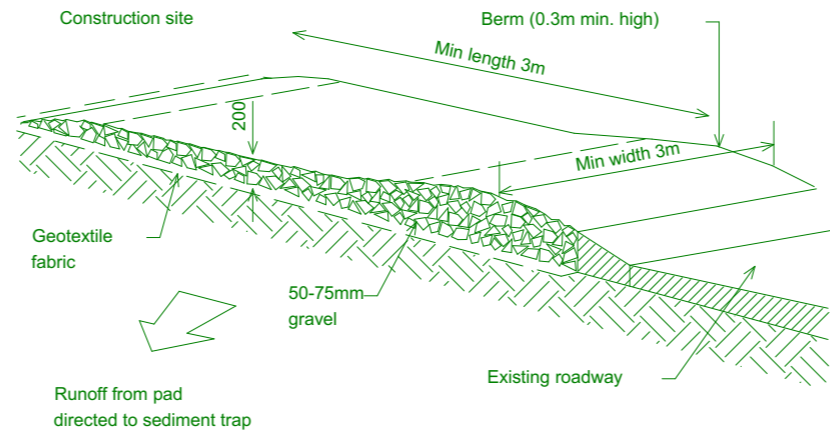
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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:200 A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 16/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Demolition Plan/ Traffic Management Plan

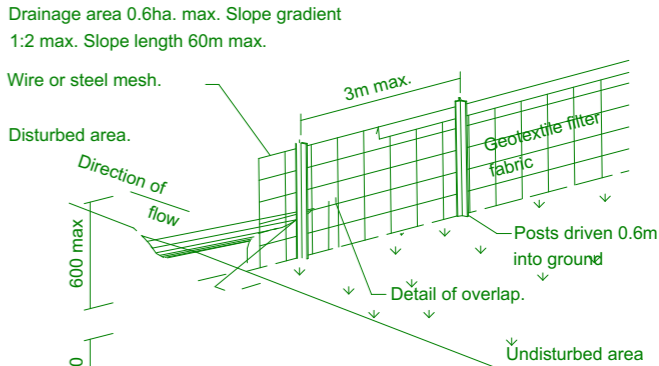
ENVIRONMENTAL SITE MANAGEMENT NOTES

EROSION AND SEDIMENT CONTROLS:

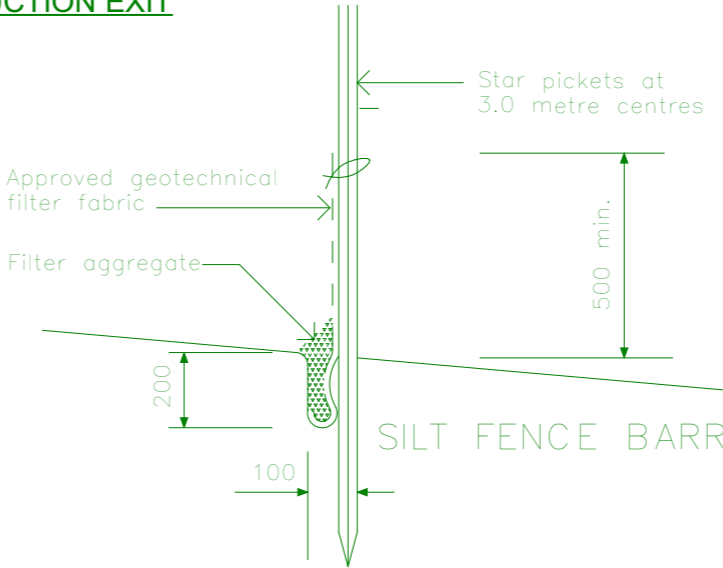
1. ALL EXISTING TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED ARCHITECT'S OR ARBORIST REPORT. TREES RETAINED ARE TO BE PROTECTED WITH A HIGH VISIBILITY FENCE, PLUS TO INDIVIDUAL TREES AS NECESSARY.
2. RETAIN ALL EXISTING PLANT COVER WHEREVER POSSIBLE.
3. SEDIMENT AND EROSION CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OF DEMOLITION ACTIVITY.
4. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, UNTIL SURROUNDING AREAS ARE PAVED OR REGRASSED
5. ALL SILT FENCES AND BARRIERS ARE TO BE MAINTAINED IN GOOD ORDER AND REGULARLY DESILTED DURING THE CONSTRUCTION PERIOD.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF CONSTRUCTION TO PREVENT SEDIMENT EROSION & POLLUTION OF THE SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT.
7. WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP BINS LOCATED AS SHOWN ON PLAN.
8. STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK, SCAFFOLDING.
9. ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE 'BALLAST' AREA TO SHAKE OFF SITE CLAY AND SOIL. IF NECESSARY WHEELS AND AXLES ARE TO BE HOSED DOWN. BALLAST IS TO BE MAINTAINED AND REPLACED AS NECESSARY DURING THE CONSTRUCTION PERIOD.
10. TRUCKS REMOVING EXCAVATED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS AND MATERIAL SHOULD BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON THE SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. (NO SEMI-TRAILERS)
11. ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.
12. PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
13. CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
14. DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A TIME.
15. ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
16. TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL AND SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.



TEMPORARY CONSTRUCTION EXIT

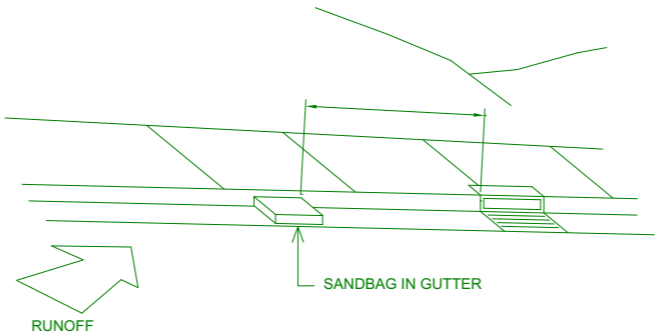


SEDIMENT FENCE



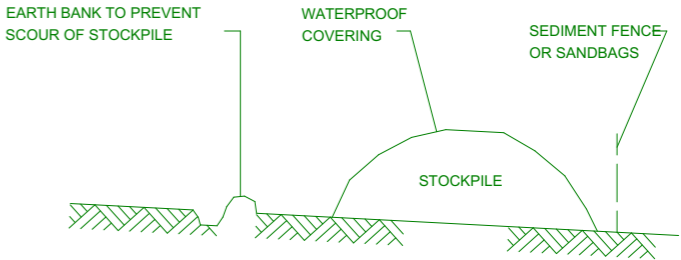
SILT FENCE BARRIER DETAIL

SILT FENCE BARRIER



SANDBAG KERB SEDIMENT TRAP

NTS



BUILDING MATERIAL STOCKPILES

NTS



ACCREDITED
BUILDING DESIGNER



SCALE 1 : 100

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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: A3	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	DRAWING No: 17/18	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475	ISSUE A	TITLE: Sediment Control Plans



5.4

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

60.2

MJ/m²

www.nathers.gov.au

0008833444 16 Aug 2023
Assessor Noura Al Hazzouri
Accreditation No. DMN/18/1891
Address
98 Chaseling Street, Greenacre
, NSW, 2190

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BUILDING DESIGNER

0 1 2 3 4 5
SCALE 1 : 100

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AMENDMENTS		
DATE	DESCRIPTION	ISSUE
00.08.23	DA SUBMISSION	A

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FILE:	JOB NO: 2305644	PROJECT: TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & FRONT FENCE
DRAWN: CB DESIGNED: AB	SCALE: 1:20 DRAWING No: 18/18	CLIENT: MR & MRS CHAHAYTA
PLOT DATE: 9/08/2023	ISSUE A	ADDRESS: 98 CHASELING STREET GREENACRE NSW
ACCREDITATION 6475		TITLE: 3D Views